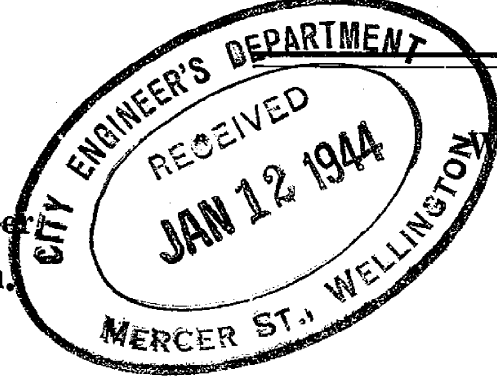


Sheet No.

628

# BUILDING APPLICATION FORM

To the City Engineer  
Wellington.



WELLINGTON,

Date 12-1-44. 193.

Sir,—

I hereby apply for permission to ERECT  
ALTER  
CONVERT  
REINSTATE Earthquake Damage  
at 88 Channers St. for S Jarland  
(House No. and Street) (Owner)  
of 88 Channers St according to Plans  
(Address)  
and Specifications deposited herewith.

Particulars of Land—Lot No. T.A. 210 & 204 TOWN SEC. or D/P.

Frontage By Depth of Area

Particulars of Building—Foundations Walls

Roof Area of Ground Floor square feet

Area of Outbuildings square feet.

Estimated cost of:—

Building £ 500 Plumbing and Drainage £ nil Total £ 500

Yours faithfully,

M G Lupton

Postal Address 3 Clereme

Date

## CITY ENGINEER'S DEPARTMENT

BUILDING BRANCH

Locality. Le. P. 3Building Dist. No. 1

## Inspection Sheet

Application for

OWNER:

Checked By Date.

1. Description of Lot & Locality & House No.
2. Building Line Restriction P.W. or By-law
3. Encroachment on Street or Council property
4. Builder's and Owner's name and address
5. Storage of fuel oil or Ders. Gds. D.G. Inspector
6. Sanitary Branch approval, Food premises & Shops
7. Labour Dept. " Factories
8. Licensing Committee approval Licensed Hotels
9. Fire Board & Special requirements. Pt. Hotels & Boarding House
10. " " " " Public Bldgs.
11. " " " also app. of Govt Insp. Picture Theat
12. Fire Escapes
13. Refuse Disposal
14. Elevators and cart-docks
15. Hoarding or Gantry
16. Distance from Boundaries
17. Use of Building
18. Values on Application
19. Frontage and area of site } residential
20. Open space and access to rear } buildings
21. General Construction
22. Chimneys, heating appliances, flues etc.
23. Retaining Walls
24. Structural Calculations
25. Plumbing & Drainage
26. Town Planning requirements
27. Street Works requirements
28. Levels and approach
29. Crossing Fee
30. Deposit £5.
31. Dispensation of Council required.

71.6.11.2.44

71.6.11.2.44

Dear per S.R. 14.1.44

R.S. 14/1/44

71.6.11.2.2.44

Permit may be issued subject to:-

Building Controller 14.1.44 Appl. 20.1.44  
 No. 14 Dear per S.R. 14.1.44.

**S. George Nathan & Co. Ltd.**  
Real Estate Agents, Property Auctioneers & Valuers



IVAN R. LETICA A.R.E.I.N.Z.  
Commercial Division

190 Lambton Quay, Wellington. Tel. 729-319  
Res. 897-161

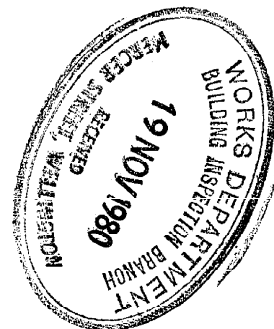
6.11.80

The Town Clerk,  
Wellington City Corporation,  
WELLINGTON

Dear Sir,

This is to authorise the bearer of this note to peruse the plans and other documents held by you relating to our property at 88 Manners Street, Wellington.

Yours faithfully  
P.P. LAMBOS HOLDINGS LIMITED

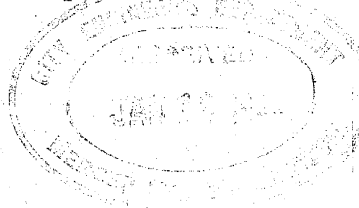


SPECIFICATION of Labour and  
Materials required in carrying out  
Earthquake Repairs to Premises.  
88 Manners St. for S. Garland Esq.

GRAY YOUNG, MORTON & YOUNG.

Registered Architects.

Prudential Building,  
Lambton Quay,  
WELLINGTON. Cl.



*Approved*  
OFFICE OF THE  
WELLINGTON DISTRICT  
BUILDING CONTROLLER  
*Flowers*  
JAN 22 1941

EXTENT OF CONTRACT:  
Following work.

The Contract includes the

1. Taking off tops of parapets to N.E. and S.E. corners of building and constructing reinforced concrete bands.
2. Repairs and steel strapping to bakehouse chimney at rear.
3. Steel strapping to rear portion of East wall together with tie rod across from East to West wall at rear corner of three-storey section.
4. Chasing out and repairing exterior cracks as afterwards detailed. Cutting out and repairing interior plaster work.
5. Re-lining upper part of bathroom and W.C. walls and ceilings to same.
6. Plumbing work as afterwards specified.
7. Interior and exterior painting and decorating as afterwards specified.

PERMIT:ETC:

Deposit the necessary drawings and specifications with City Council, obtain Building Permit and pay all fees and deposits which may be demanded in connection with same.

INSPECTION OF BUILDING & SITE:

The Contractor is required, before submitting a tender, to inspect the building and site and to note the condition of same and any other matters which might in any way affect his tender. The receipt of a tender shall be regarded as confirmation of this having been done, and no demands for extra payment due to the Contractor not having taken the existing conditions into consideration shall be entertained.

DAMAGE:

The Contractor shall be responsible for any damage done to this or adjoining premises or contents thereof by any act or omission on the part of his or subcontractors' employees which, in the opinion of the Architects constitutes negligence. He shall at all times, by use of temporary coverings take all possible care to prevent damage by entry of water.

Particular care shall be taken at all times to see that all gutters, sumps, and downpipes are left clean and free from obstructions.

Should he consider it necessary to avoid possible damage, he shall arrange with tenants for shifting stock from any places which might be liable to damage.

ADJOINING PREMISES: Permission has been obtained from the adjoining owner on East side for use of his yard conditional upon same being left in a clean and tidy condition to his approval and that no damage is done to his property in any shape or form. The Contractor shall be fully responsible for seeing that these conditions are complied with.

CUTTING & CHASING: The Contractor shall perform all cutting and chasing necessary for the completion of the Contract. He also shall attend upon and make good after all subcontractors.

SCAFFOLDING, GUARDS, LIGHTS: Supply, erect and maintain during progress of the Contract, and on completion dismantle and cart away all scaffolding, guards, lights etc. as may be required by the City Engineer and the Scaffolding Inspector and which may be necessary for carrying out the work.

MAKE GOOD: The Contractor shall allow for generally making good where and as required. This applies also at junctions of new and old work and at places where the latter has to be disturbed, for the introduction of new strengthening system. Attend upon all subcontractors and make good after them as required. Make good and leave to approval all lining, shelving, fittings, etc. which may be disturbed.

INSURANCE: The maintenance of adequate Insurance against Fire and Earthquake shall be the responsibility of the Employer.

The Contractor shall be responsible for effecting Insurance against death or accident of any man employed on the Contract. In addition to the usual Employer's Liability Insurance, he shall effect, in an approved office, additional Insurance in the joint names of himself and the Employer against any claims which may be made under Common Law.

Such Insurance shall be for a total amount of £10,000 with a limit of £2500 on any one claim.

Third Party Insurance to a similar total and limit shall be effected, and all the above Insurance maintained until completion of the contract. Before commencing work, copies of the cover notes shall be deposited with the Architects;

EMPLOYER TO RETAIN USE OF BUILDING: The Employer and tenants shall be permitted to retain use of the building during progress of the work and to carry on their normal business.

3.

Maintain all gas and electric services and allow tenants their normal access to premises at all times.

**CLEANING:** All rubbish and debris shall be removed from time to time from the site as the work proceeds and no accumulation of such debris will be permitted. On completion of the Contract the building and site shall be left in a condition satisfactory to the Architects, Wash down all floors, clean all glass, fittings etc. and leave the building ready for occupation. All cement marks shall be carefully washed off walls as the work proceeds.

#### DEMOLITION WORK:

Allow for removing existing parapet walls to N.E. and S.W. corners of main building to allow for construction of new reinforced concrete bands for the distance shown on plan.

Demolition to be taken down to flashing level.

On rear wall the bed for new band is to be stepped down as shown to permit construction of band to a minimum depth of 12".

Allow for removal of two finials to corners of Manners St. parapet and also chimney near N.E. corner.

#### CONCRETOR:

**SHINGLE AND SAND:** Shingle and sand shall be clean, sharp, free from salt, clay, vegetable matter, rotten rock or other impurities. Shingle shall consist of hard blue metal and shall vary as much as possible between extreme limits of 3/4" and 3/16" diam. and sand from 3/16" diam. downwards but shall be free from more than 10% of fine particles which will pass through a 76 mesh sieve.

**DELIVERY:** Shingle and sand shall be delivered separately and stored in separate bins with plank floors.

**PROPORTIONS:** All concrete shall be mixed in the proportion of 4 parts shingle; 2 parts sand; and one part fresh N.Z. Portland cement. The various constituents shall be accurately measured by means of properly/gauge boxes for each batch. proportioned

**WATER:** Sufficient water shall be used to ensure that the concrete may be readily worked into position, but an excess of water resulting in a sloppy mix will under no circumstances be permitted. The quantity of water to be used per batch shall be determined at commencement of the contract and shall be accurately measured and this quantity adhered to.

**MIXING & PLACING:** All concrete shall be mixed by machine for not less than one minute per batch and shall then be immediately deposited in boxing, well rodded or tamped to completely fill all formwork and to completely embed all reinforcement.

**STRENGTH OF CONCRETE:** All concrete shall attain a minimum compressive strength of 2,400 lbs. per sq. inch within 28 days from mixing or 1,300 lbs. within 7 days from mixing.

**FORMWORK:** The Contractor shall supply and erect all necessary formwork to enable concrete bands, etc. as shown on the drawings to be constructed.

Forms shall be constructed of 1" stuff with tight joints well ledged, tied, braced and tamped up with substantial timbering to prevent any movement or deflection under weight of concrete, men, plant, etc. during the setting period. Forms shall be so constructed as to ensure the concrete work finishing plumb true and even in every respect.

The Contractor shall take full responsibility for leaving the boxing in position for sufficient time to enable the concrete to become sufficiently set but shall nevertheless be guided by the Architects' opinion in the matter.

When sufficiently set, carefully remove all boxing, cut back all wire ties etc. 1" from face of work.

No boxing shall be re-used without thorough cleaning. No damaged boxing likely to permit escape of cement shall be used in any portion of the work. All boxing shall be thoroughly cleaned out and hosed before concrete is placed: temporary openings shall be provided in all formwork where required for this purpose.

**INSPECTION:** No concrete shall be placed in any portion of the work before the boxing and the reinforcing have been inspected and approved by the Architects. After boxing has been stripped the work will again be inspected by the Architects, who may order cutting out and making good of any defective portions of the work. No patching shall be done by the Contractor until such inspection has been made.

**REINFORCING:** The Contractor shall supply, bend and place in position all reinforcing steel, in the form of round mild steel rods, shown on the drawings. The ends of all tension bars shall be hooked as shown on the drawings.

The number, size, shape, position etc. of all steel reinforcing shall conform to the drawings. All rods and stirrups shall be wired or otherwise secured in position to prevent displacement during concreting. All vertical or horizontal rods shall be accurately spaced, set parallel to the boxing and kept away from same to give minimum cover of  $1\frac{1}{2}$ " of concrete. This cover shall be made certain by the use of temporary cast concrete spacers.

All new concrete bands shall be reinforced with four  $3/4$ " diam. continuous rods and with  $1/4$ " diam. stirrups at 12" centres. At all junctions of new concrete bands the reinforcement shall be securely locked and tied together.

All stirrups shall be in actual contact with all rods they enclose, and shall be securely wired to same. All laps shall be equal in length to 30 diameters of the rod and shall also be securely wired.

BONDING NEW & EXISTING WORK: Where new concrete abuts against existing concrete the latter shall be thoroughly hacked to provide adequate key. In the case of existing brickwork, it shall be toothed out to provide the key.

GROUTING: All bolts, straps and anchors shall be securely grouted with stiff mixture of 2 to 1 sand and cement tightly plugged in. All holes, chases etc. shall be thoroughly wetted before grouting. Grouting shall be allowed to set for at least three days before any strain is put upon steelwork bedded in same.

#### CARPENTER:

BOXING: See under "Concretor".

MAKE GOOD: Allow for making good in approved manner all lining, partitions, shelving and fittings which may require to be removed or disturbed to permit construction of new bands or for the introduction of new steelwork, bolts and straps. Neatly cut through floors as required for new strapping, afterwards making tight to approval.

RE-LINE: Strip off present lath and plaster to the ceilings and upper portion of walls to one bathroom and W.C. on top floor.

Dwang to approval with  $2\frac{1}{2}$ " x 2" between studs and ceiling joists and line with  $3/8$ " Gibraltar board with joints flushed up and rubbed down smooth.

Put quadrant beads in angles.

Allow for stripping damaged lining



from one side of each of two skylight wells above passage on top floor and for re-lining as above.

TANK STANDS: The stand on the S.E. corner of the building is to be securely anchored by means of  $1\frac{1}{2}$ " x  $\frac{3}{8}$ " wrot. iron straps and  $\frac{5}{8}$ " diam. bolts to new concrete work. Straps are to be split at ends and built into concrete in approved manner.

The smaller stand is to be straightened, and stiffened with additional strutting to approval.

The work shall be carried out in such a way that the supplies are not cut off except for short periods by arrangement with the occupants of the building.

PLASTERER:

SAND: Shall be clean, sharp, free from all impurities and shall be screened.

COMPO: Shall consist of 3 parts sand to one part Portland cement, with the addition of  $\frac{1}{5}$ th part hydrated lime.

WORK: The whole of the new exposed concrete work to exterior of building, shall be slurried and then plastered in two coats.

Run mould and projecting capping to new parapet to street front to match existing work.

All surfaces to be plastered shall be well wetted before slurry of equal parts sand and cement is thrown on. Slurry shall be allowed to set hard, then well wetted before plaster is applied.

Plaster to <sup>be</sup> not less than  $\frac{1}{2}$ " thick. Neatly point all flashings.

Make good to approval any plaster work damaged during progress of contract.

CRACKS IN OUTSIDE WALLS: Cut out and make good to approval cracks in outer walls as under.

Manners St. front: As indicated on elevation.

East Wall: Crack near junction of this wall and Manners St. front.

Vertical crack at junction of two and three storey sections.

Two horizontal cracks at rear of adjoining premises.

Rear Wall of 3-storey Section. Vertical crack near junction with East wall. Cracks in bakehouse chimney.

East wall: Cracks above window headstop floor.

The above cracks are to be cut out back to the brickwork and neatly filled.

INTERIOR WORK: All cracks to staircase leading from Manners St. also Landing and adjoining Cloak Room on first floor are to be cut out approx. 1/2" deep, filled with cement compo, topped off with Victor Brand stopping plaster and left smooth and even.

Take off all loose plaster and make good as above.

All damaged lath and plaster work to Passage, Landing on second floor, also to stair well down to first floor level is to be repaired.

All cracks are to be cut out and stopped with Victor stopping plaster.

Where plaster has come away from laths it is to be removed and plaster raked out between laths, to provide key.

Flank in with lime and cement mortar (three parts clean, sharp, sand to one part hydrated lime with the addition of a small quantity of cement), the whole reinforced by admixture of a sufficient quantity of well-teased cowhair thoroughly mixed together. Apply with sufficient pressure to force the compo between and over laths for key.

Setting coat to be Victor hard wall plaster finished off smooth and even with wood float.

Stop and make good open joints to skylight shafts above passage.

Allow for plastering to match existing work the new concreting round four steel angles where chased into wall of ground floor.

#### STRUCTURAL STEELWORK:

Supply and erect all steelwork as shewn on the drawings and as afterwards specified.

The exact positions for the steel strapping shall be checked with the Architects on the job before any drilling is done. Positions shewn on the

drawings may be varied slightly in order to avoid fittings etc.

All steelwork shall be given a good coat of red lead and linseed oil priming which shall be allowed to dry hard before steelwork is finally fixed.

STRAPPING TO CHIMNEY: Provide and erect strapping as detailed. Two  $2\frac{1}{2}$ " x  $2\frac{1}{2}$ " x  $3/8$ " angles 8 ft. long gripping outer corners.

Weld on two similar angles horizontally of length shown, with ends drilled to take  $3/4$ " tie rods threaded each end and fitted with nuts.

Allow for two  $1/4$ " fillet welds at each intersection of vertical and horizontal angles.

Drill through wall and secure tie rods to  $2\frac{1}{2}$ " x  $2\frac{1}{2}$ " x  $3/8$ " angles on inside face.

STRAPPING EAST WALL: Provide and erect four sets of vertical strapping consisting of  $3\frac{1}{2}$ " x  $3\frac{1}{2}$ " x  $1/2$ " steel angles on each side of wall and bolted through wall as detailed with  $3/4$ " bolts. Angles to be of length shown.

Where angles come below ground floor ceiling allow for cutting  $4\frac{1}{2}$ " deep vertical chase to allow for off-set in wall. Concrete in this section of angles, finishing concrete  $1/2$ " back from face of wall to allow for plaster.

TIE ROD ETC: Provide and erect  $1\frac{1}{4}$ " diam. steel tie rod with wall anchorages as shown.

Rod to be in <sup>two</sup> sections, threaded right and left hand to centre and jointed by means of a hexagonal threaded coupling to approval. Rod to be left level and free from sag by means of a  $3/8$ " hooked suspension rod secured to ceiling joists.

Wall anchorages to consist of  $3\frac{1}{2}$ " x  $3\frac{1}{2}$ " x  $3/8$ " steel angles on each face of each wall and secured by means of  $3/4$ " ragbolts set into walls. Drill angles to receive ends of tie-rods which shall be threaded for a sufficient distance to provide for back-nuts on the inside steel angles.

DRILLING: All holes through brick walls shall be drilled 3" x 3", and the bolts shall be set in stiff cement compo 2 to 1 tightly packed in;

Compo shall be allowed to set hard before any strain is put on bolts, but the latter on completion shall be gone over with spanners and tightened up.

Similarly tighten up coupling to tie rod.

PLUMBER:

FLASHINGS: Allow for re-setting all flashings which may be disturbed in construction of new bands to parapets.

Go over existing flashings to other sections of parapet to east wall and re-plug and point where necessary. Leave all flashings watertight.

WATER SUPPLY: Allow for attending on Contractor, disconnecting water supply to and from tanks on roof when and as required and for making temporary connections if necessary to maintain supply to tenants.

PAINTER:

EXTERIOR WORK: Where cracks on street frontage are to be repaired, allow for giving patching a coat of sealer and two coats of paint. Similarly treat new plastered work to front parapet. Well brush down the whole of the street front and paint one coat down to verandah level, including frames and sashes.

Re-write sign on Manners St.,  
parapet.

The section of west wall above flat roof over cloak room etc. is to be given a good coat of approved oil-bound distemper. Allow for two coats where cracks are repaired.

All new exposed steelwork is to be painted two good coats oil paint to approval.

INTERIOR WORK

Main Stairs, Cloak Room & Landing: Allow for cleaning down, painting one coat and finishing in Tingey's Oriental Lacquer the whole of the plastered work to walls, ceilings etc. Where cracks are repaired allow for coat of sealer and undercoating in addition to the above.

Bathroom & W.C (2nd Floor) New lining to walls and ceilings is to be painted two coats ~~and finished in enamel.~~

Allow for one coat to woodwork and remainder of walls.

10.

Passages, Landing & Stairs;      Where lath and plaster work to walls and ceilings has been patch the existing paper is to be neatly cut to a straight line and stripped off.      Make good these places with new lining paper.

Give the whole of the walls and ceilings two coats of approved oil-bound distemper.

Allow for painting two coats the interiors of skylights and wells to same above passage.

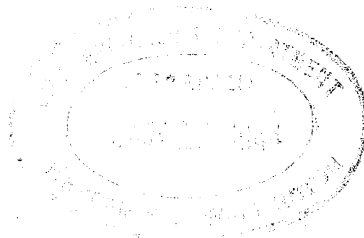
# SPECIFICATION

FOR

EARTHQUAKE REPAIRS TO PREMISES.

86 MANNERS ST.

S. GARLAND ESQ.



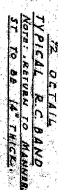
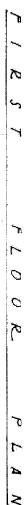
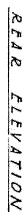
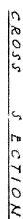
**GRAY YOUNG, MORTON & YOUNG**

**Reg. Architects**

**PRUDENTIAL ASSURANCE BLDG.,**

**332-340 LAMBTON QUAY,**

**WELLINGTON, C.1, N.Z.**



EARTHQUAKE REPAIRS TO PREMISES  
88 MANNERS STREET FOR  
J CARLAND ESQ.



SCALES :  $\frac{1}{8}" = 1'-0"$   
 DATE : 10-11-43  
 DRAW NO. 1  
 O'RAY YOUNG, MORTON & YOUNG  
 ARCHT. & ENGRS.  
 PRUDENTIAL BLDG. MORTON ST.

