

BUILDING APPLICATION FORM.



Date, 24th May 1923

To the City Engineer,
Wellington,

SIR,
I hereby apply for permission to add additions to premises
in Courtney Place Street, Section.....
part of Town Acre..... for J. Martin Esq.
of Courtney Place..... according to Plans and Specifications
deposited herewith at the estimated cost of £ 2000.

Yours faithfully,

Alex Campbell & Son
Postal Address Box 906 S. F. O

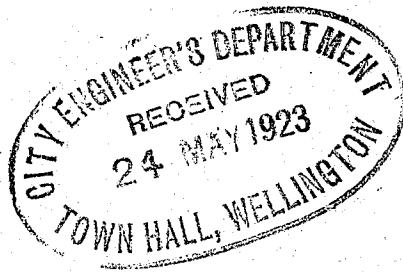
Conrad Joff

Specification

of Addition to Premises

at Courtenay Place Wgt

for J V Martin Esq.



SPECIFICATION

of work to be done, and

Materials to be used, in the

Erection of additions to

Business premises,

Courtenay place Wellington,

for J.W. Martin, Esq.

P.C. Walton,
Architect.

The work consists of any preparatory work found necessary such as exposing the steelwork in the present building, fastening new steelwork to same, continuing present concrete work to heights & sizes shown, constructing roof etc. extending lift and generally completing and executing the work as described in this specification and shown on the accompanying drawings to the complete satisfaction of the Architect.

Concrete for walls etc. to be composed of six parts clear river shingle or crushed metal and sand to one of best quality Portland cement, the whole to be accurately measured and mixed in an approved manner and deposited in properly constructed forms and boxing, no stones to be used larger than $\frac{3}{4}$ " diameter.

Walls, piers and wall beams to be carried up true, plumb and level to the heights and sizes shown. Curtain walls to be reinforced with $\frac{1}{2}$ " rods at 12" vertically and at 18" horizontally fastened with wire glass clips at all intersections and piers and wall beams with 4-7/8" rods each securely bound at intervals of 12" with No. 7. drawn wire binders.

(2).

Lintels over door and window openings to be reinforced as may be directed.

All reinforcements to be made as continuous as possible at junctions, intersections and angles and where new work abuts on present work the reinforcements in same to be bared for at least 12" to ensure good junctions of same.

Before commencing to fill concrete on old work, all surfaces to be thoroughly roughed and treated with a good layer of cement grout.

The angles of all beams and piers etc. to be rounded as in present building.

Conduit for Electric light and power for lift to be laid in position as work proceeds.

Bolts and fastenings for woodwork etc. to be set in concrete during progress of the work as directed.

Removal of timbering:- All moulds and timbering to be carefully removed to avoid shock and heled etc. thoroughly grouted.

External plastering:- Front and rear elevations, inside and outside of parapets, all exterior walls and roof of small rear portion of building to be neatly plastered with $\frac{1}{2}$ to 1 cement compo, $\frac{1}{2}"$ thick all uneven places in wall paces trueed and straightened and all cornices, strings, bands, weatherings and other featured to be properly formed and finished as shown and directed to match present work.

Channels and grooves for flashing etc. to be formed in the concrete as work proceeds.

Internal plastering:- All internal walls and ceiling of rear portion to be plastered with cement compo as above and finished with a setting coat of hydrated lime.

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Plaster sheets:- The whole of the ceiling of main building and interior of lift well to be covered with approved fibrous plaster sheets formed into panels with approved moulded margins and angle moulds to approval fixed to all angles of same.

C A R P E N T E R

Roof:- Main roof to be constructed with principals (Oregon) as shown with 10 X $\frac{4}{3}$ tie beams, 6 X 4 rafters, 4 X 4 struts and 4 X 3 straining sill and 1" King bolts and $\frac{3}{4}$ " Queen bolts with approved caps and washers. Purlines to be 5 X 2 O.B.R. bracketed and spaced as shown. Gutters to be formed with 12 X 4" sides and bottoms with falls as directed. Rear and front slope of roof to be framed up with 4 X 3 O.B.R. laid direct across purlines, cramped close, neatly cut to hips and ridge and securely nailed. The whole to be thoroughly braced and strutted and finished as may be directed.
Hip rafters to be 8x1 $\frac{1}{2}$, Sarking to be 8x1 $\frac{1}{2}$ I.R.

Light and Lift well:- The present lantern light to be removed and refixed in new position shown. Opening above present concrete well to be continued up with 6" X 6" dressed posts to underside of beam and space filled with 2" thick sashes beaded in, plates round opening to be 4 X 2 dressed, finished with neat moulding at angles of ceiling and walls at sill line. Frame up balance of opening to height shown with 4 X 2 plates and studs (st 18" cents -es) Cover outside with corrugated iron as for roof and finished

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angles and eaves with 6 X 1 dressed St. Totara stops and fascias.
trap doors to be formed in side where directed with T" T & G
boards. ledged and braced and hung and fastened to approval.
(One door above and one inside roof.)

Gutter fascia for eaves of building to be 6 X 1½" St. Totara.

Doors:- The present door to roof to be taken down and replaced with
with glass panelled door as in present interior fittings hung on
4" butts and fastened with Kendrick night latch and mortice lock,
of a value of £5/-. W.C. doors to be 6'6" X 2'4" X 3" O.R.Rim
4 panel square finish, hung on 2-4" butts and fastened with mortice
locks to match others and small brass tower bolts. Jambs to
be 4 X 3 solid rebated St.Totara. Door to rear room to be fire
proof door for 6'8" X 2'8" opening to underwriters specification
complete with hinges, fastenings etc.

Screen etc. Build screen partitions and W.C. enclosure where
shown. Screen to be 6'6" high framed up with dressed 6" X 2" and
covered one side only with 6" X 1" T & G & V.O.F.R.
W.C. to be framed up as above, 7'6" high, lined both inside and out
including ceiling as above and space inside wooden walls filled
with sawdust or other suitable deadening.

Windows:- All windows except those already specified to ^{be} steel
sashes as in present building, the two in rear elevations and
three in front to match corresponding ones in present building
complete with fasteners etc. W.C. windows to be louvred, of sizes
shew as in present W.C.'s and two small louvred vents to be fixed
in walls of rear building where shown.

All timbers used in lining, joirary etc. shall be perfectly seasoned
and where Ht. wood is specified no edges of saw shall be

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allowed.

All outside woodwork where not otherwise specified shall be Rtu. 8 Totara.

All ordinary building timber showing bark, shakes, loose or bad knots shall be discarded and the Architect shall have power to reject any materials which he may consider unsuitable for that part of the work for which it is intended to be used.

All inside finish to be thoroughly hand cleaned and papered.

All sizes and measurements shall be those shown or specified or where neither shown or specified shall be such as may be directed by the Architect.

All care must be taken to prevent damage to other parts of the building and fittings and any damage occurring during the progress of this contract shall be made good by the Contractor and the whole left clear & complete at the finish of the Contract.

Lift:- The present lift to be altered to operate for the additional floor and all materials and labour for same, including extensions to guides, cables, wiring etc. required, to be supplied by the Contractor. Motor and other necessary machinery to be removed and reinstalled in new position shown and the whole left in perfect working order. One new set of gates complete to be fixed for additional floor and to match those already installed.

PLUMBER

All work to be carried out in strict accordance with the Wellington City Council By-Laws.

Roof:- Cover main roof with best quality saturated felt, well lapped and tucked carried over ridges and hips and lower edge of sarking and 26 gauge corrugated galvanised iron of "ORR" or other approved brand, laid with at least 6" lap at ends and two full corrugations at sides of sheets, the whole to be securely fastened with lead headed nails. Ridges and hips to be covered with 24 gauge lead edged ridging.

Gutters:- Parapet and box gutters to be formed with 24 gauge lead edged ridging galvanised iron, with joints well lapped riveted and soldered and with falls as directed. Sides to be carried well up walls and under roof iron with beaded edges and tilting fillets.

Flashing:- Flash roof on inside of all parapets, junctions of rear roof and main building, junction of light well and roof and junction of building fronting Foresters Lane and new work, and wherever found necessary with 4 lb. lead in an approved manner. Channels for same to be formed in concrete 2" deep, flashings firmly wedged in and cement pointed.

Spouting:- The present spouting to rear roof may be taken down and refixed at new level. Fix 5" cast iron spouting to rear eaves of main building. Remove and refix all rainheads and other necessary fittings and extend all necessary down pipes, vents, soil and water pipes as may be necessary and to match those in existing building.

W.C's :- Provide and fix two white glazed earthenware pedestal pans in W.C's with double flap ~~fitted~~ ^{polished} seats, cast iron flushing cisterns, ball cocks, chains and pulls complete and connect to drains.

Basins:- Provide and fix 2 white glazed earthenware basins as in present building complete with plugs, traps, wastes etc.

Water:- Lay water from present supply with $\frac{1}{2}$ " galvanised iron Piping to W.C's and basins. Taps to be nickel plated.

Electric light:- Lay all necessary conduit and insulate ^{ed} wiring (according to new regulations) to supply 12 points where directed, with all necessary fittings complete and approved switches and allow the sum of £10 0 0 for lamps, shades and pedestal pendants to be selected by Proprietor. The whole installation to be left in complete working order at completion.

P A I N T E R

All outside work and parts usually painted including sashes, spout-traps, downpipes, wastes, waterpipes, stops, facias etc. to be painted in three coats of oil paint finished in approved tint.

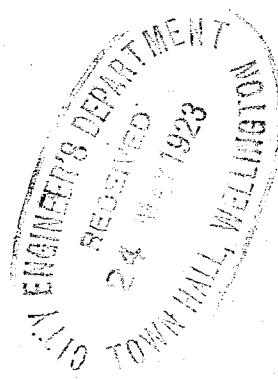
All internal woodwork such as doors, sashes, screen etc. to receive one coat of oil and one coat of spirit varnish.

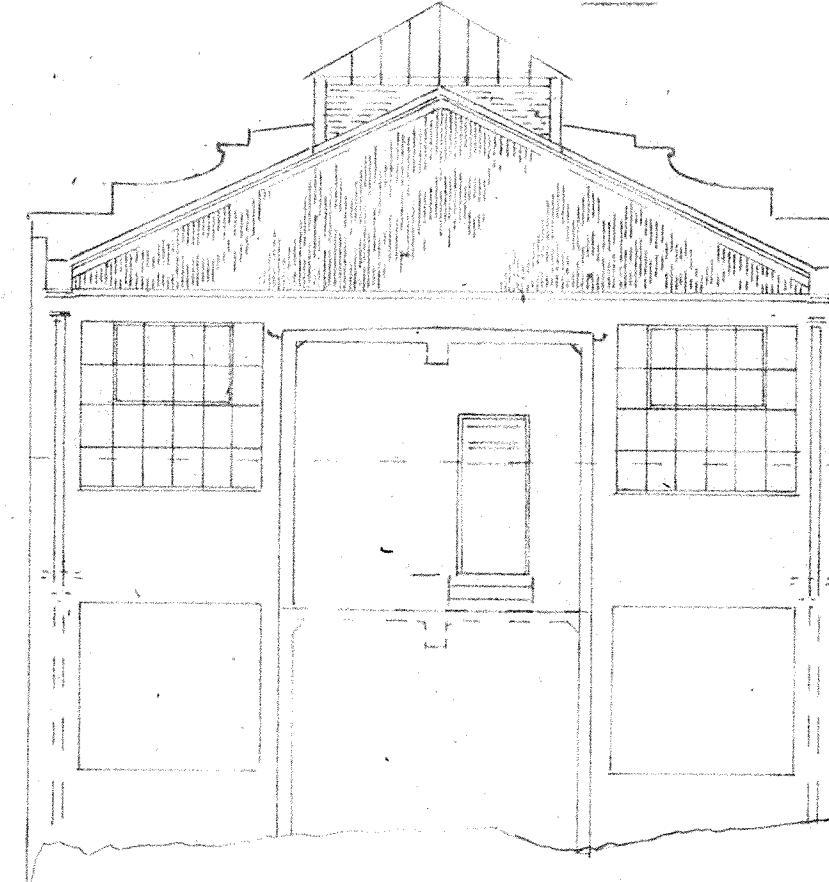
Plaster sheets to receive one coat of calcimine or cold water emulsion paint to approval.

Glazing:- W.C. windows to be glazed with white Arctic glass and all other sashes with 21 oz. clear sheet glass free from defects.

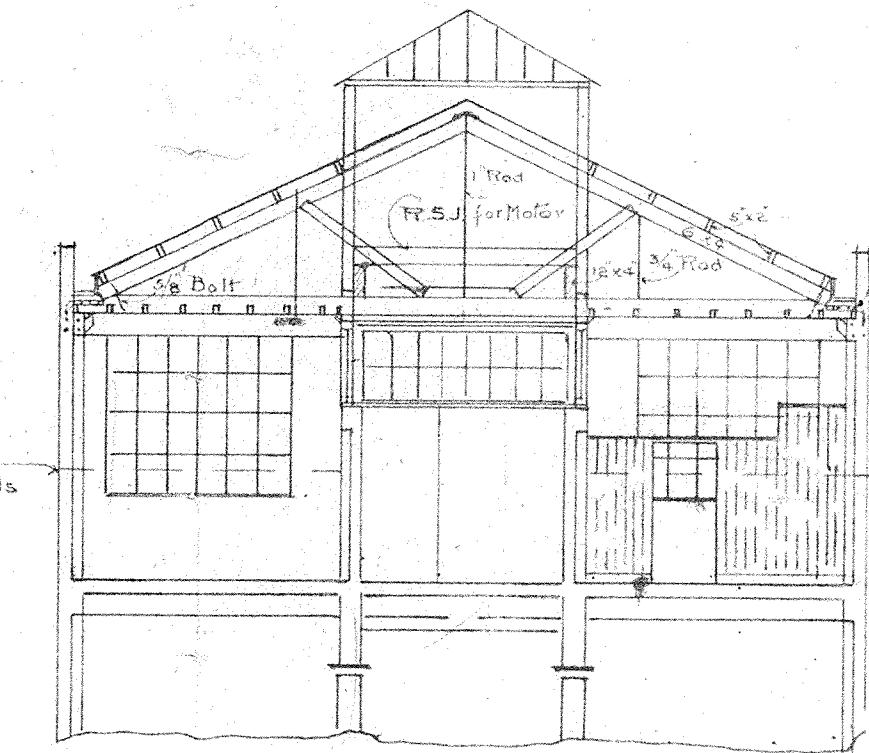
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Special Note:- The whole of the work in this contract to be carried out in every way to inconvenience the tenants of the building as little as possible, specially as regards the lift, sanitary work and lighting.

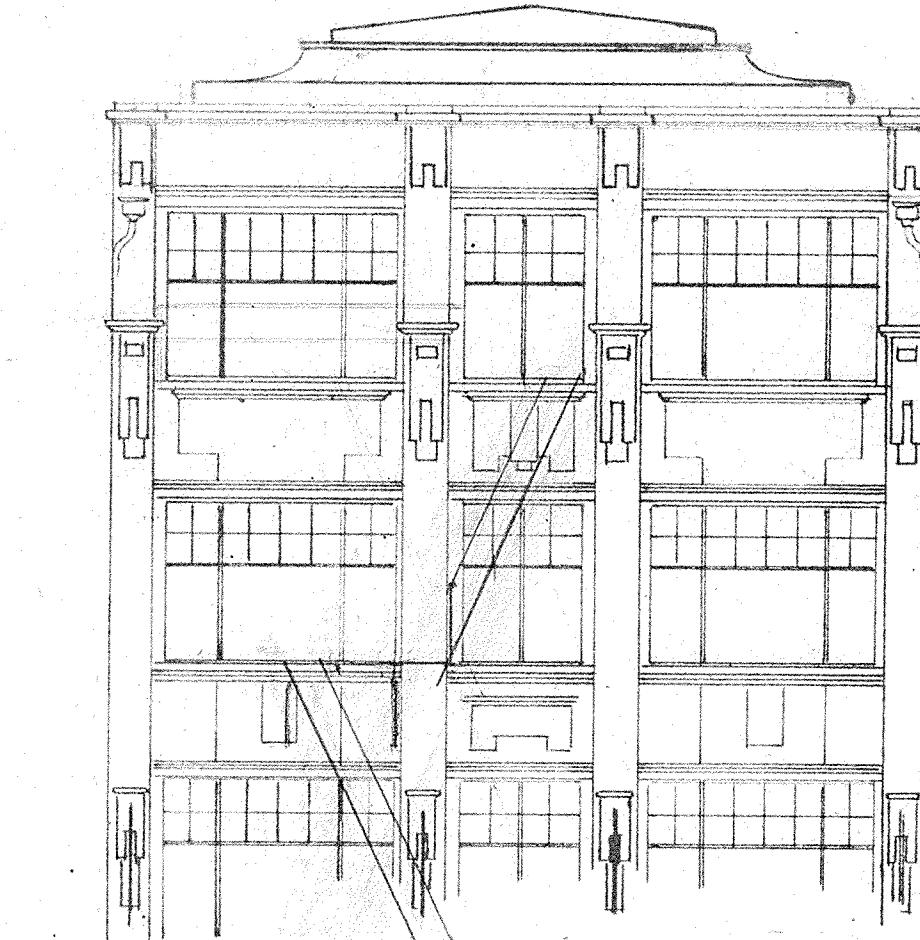




REAR ELEVATION.



CROSS SECTION



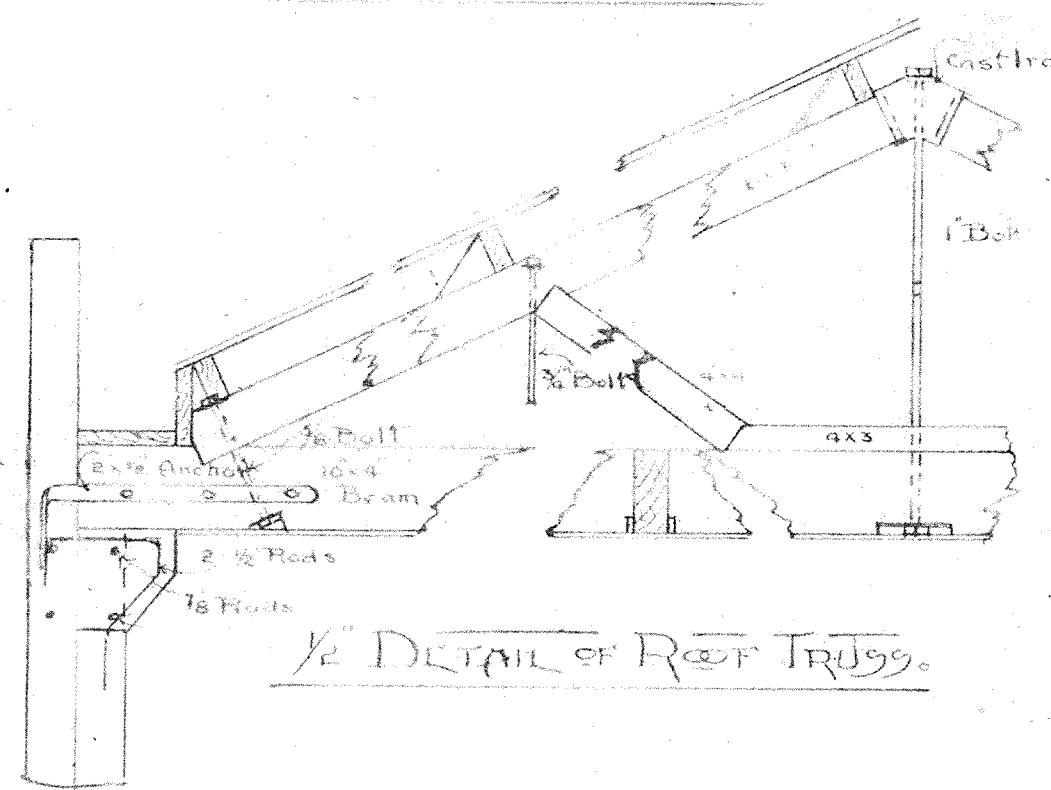
FRONT ELEVATION.

ADDITION TO PREMISES
COURTEMAY PLACE, W.C.

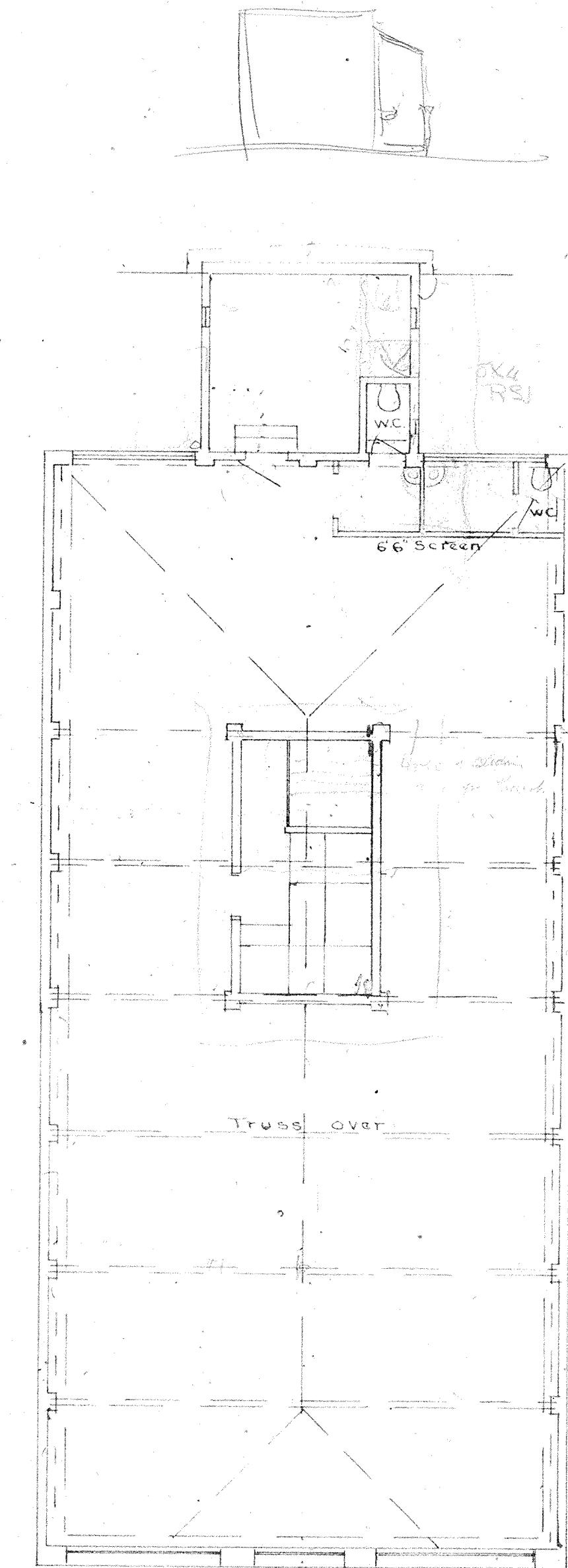
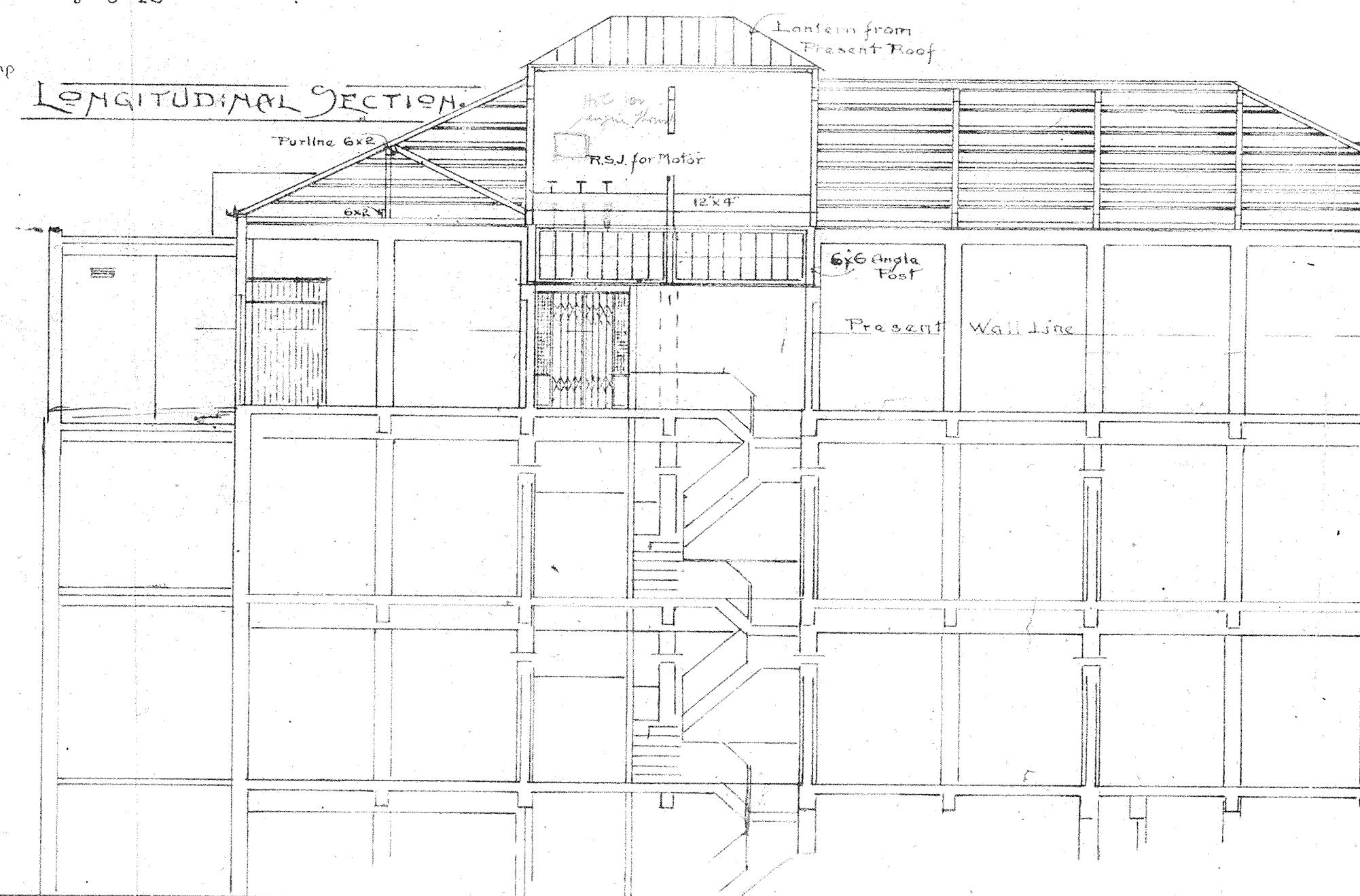
FOR J.W. MARTIN Esq.

Gable: 8 Feet 10 Inch.

McGillow
Architect
8-5-23



1/2" DETAIL OF ROOF TRUSS.



FLOOR PLAN.

RECEIVED
CITY ENGINEER'S OFFICE
TOWN HALL, LONDON, S.E.
2 MAY 1923

*Fire escapes
were directed
at A.A.S.*

LONDON CITY COUNCIL
CITY ENGINEER'S OFFICE
PERMIT NOT BE ISSUED
Depot
Water
Date
13.6.23
R.H.G.

No to be held
by metric
13.6.23